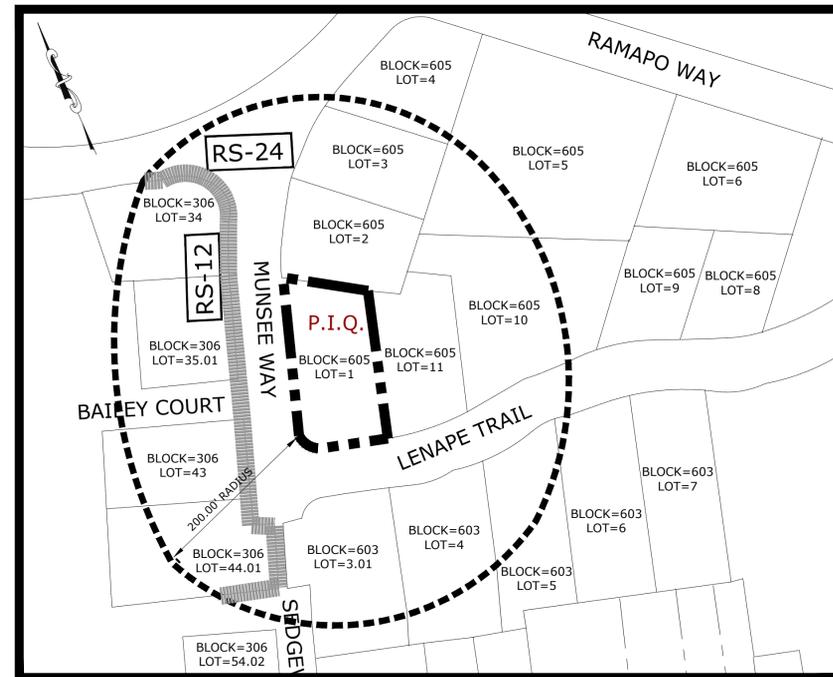


APPLICATION REQUEST FOR "C" VARIANCE

MADE BY

JOSEPH & JENNIFER GIORDANO

PROPERTY OWNERS WITHIN 200'			
BLOCK	LOT	PROPERTY LOCATION	OWNERS NAME & ADDRESS
306	34	905 MINISINK WAY	PATRICK D & MARYBETH N BOYLE TRUST 905 MINISINK WAY WESTFIELD, NEW JERSEY 07090
306	35.01	900 BAILEY COURT	TONI M KENNEDY 900 BAILEY COURT WESTFIELD, NEW JERSEY 07090
306	36.01	902 BAILEY COURT	ARTHUR W CHAN & MARY J CHO 902 BAILEY COURT WESTFIELD, NEW JERSEY 07090
306	43	139 MUNSEE WAY	HOWARD GRALLA & JONI SWEETWOOD 139 MUNSEE WAY WESTFIELD, NEW JERSEY 07090
306	44.01	123 MUNSEE WAY	MITON & ELENA SCHATZ 123 MUNSEE WAY WESTFIELD, NEW JERSEY 07090
603	3.01	817 LENAPE TRAIL	ROBERT S & ROSEMARY C ROSSITTO 817 LENAPE TRAIL WESTFIELD, NEW JERSEY 07090
603	4	809 LENAPE TRAIL	PAUL & CLARISSA O'HERN 809 LENAPE TRAIL WESTFIELD, NEW JERSEY 07090
603	5	801 LENAPE TRAIL	STEPHEN J SQUERI 801 LENAPE TRAIL WESTFIELD, NEW JERSEY 07090
605	2	200 MUNSEE WAY	DAVID & VILMA GONZALEZ 200 MUNSEE WAY WESTFIELD, NEW JERSEY 07090
605	3	206 MUNSEE WAY	TIMOTHY M & GAIL F DONOVAN 206 MUNSEE WAY WESTFIELD, NEW JERSEY 07090
605	5	837 RAMAPO WAY	DIANE NIGAM ABBY RD PROPERTY TRUST 837 RAMAPO WAY WESTFIELD, NEW JERSEY 07090
605	10	796 LENAPE TRAIL	KEVIN P & SUSAN M PETROVICIK 796 LENAPE TRAIL WESTFIELD, NEW JERSEY 07090
605	11	812 LENAPE TRAIL	ANDREW & JOANNA RICE 812 LENAPE TRAIL WESTFIELD, NEW JERSEY 07090



ZONING/TAX MAP
SCALE: 1"=100'



AERIAL MAP
SCALE: 1"=100'

BLOCK 605; LOT 1
TAX MAPS 3 & 6
816 LENAPE TRAIL
TOWN OF WESTFIELD
UNION COUNTY, NEW JERSEY
ZONE DISTRICT: RS-24

SIGNATURE BLOCK

CHAIRMAN OF THE BOARD
SECRETARY OF THE BOARD

SHEET INDEX

COVER SHEET	1 OF 4
SITE AND DEMOLITION PLAN	2 OF 4
GRADING AND UTILITY PLAN	3 OF 4
DETAIL SHEET	4 OF 4

LAND Identity, LLC
A Professional Landscape Architecture & Design Company

Visit us online at: www.LANDidentity.com
Certificate of Authorization #21MH000005
P: 908.721.0499
F: 908.721.0489
Westfield, NJ 07090

LICENSED LANDSCAPE ARCHITECT

Joseph Giordano
JOSEPH GIORDANO, L.L.A.
NJ LICENSE #AS000951

REV.#	DATE	REMARK
2	03/30/20	REV. PER ZONING BOARD COMM.
1	02/03/20	REV. PER ZONING OFFICIAL COMM.

GIORDANO RESIDENCE
BLOCK 605; LOT 1
816 LENAPE TRAIL
TOWN OF WESTFIELD
UNION COUNTY, NEW JERSEY

PROJECT#: NJ18137

DATE: 12/09/19

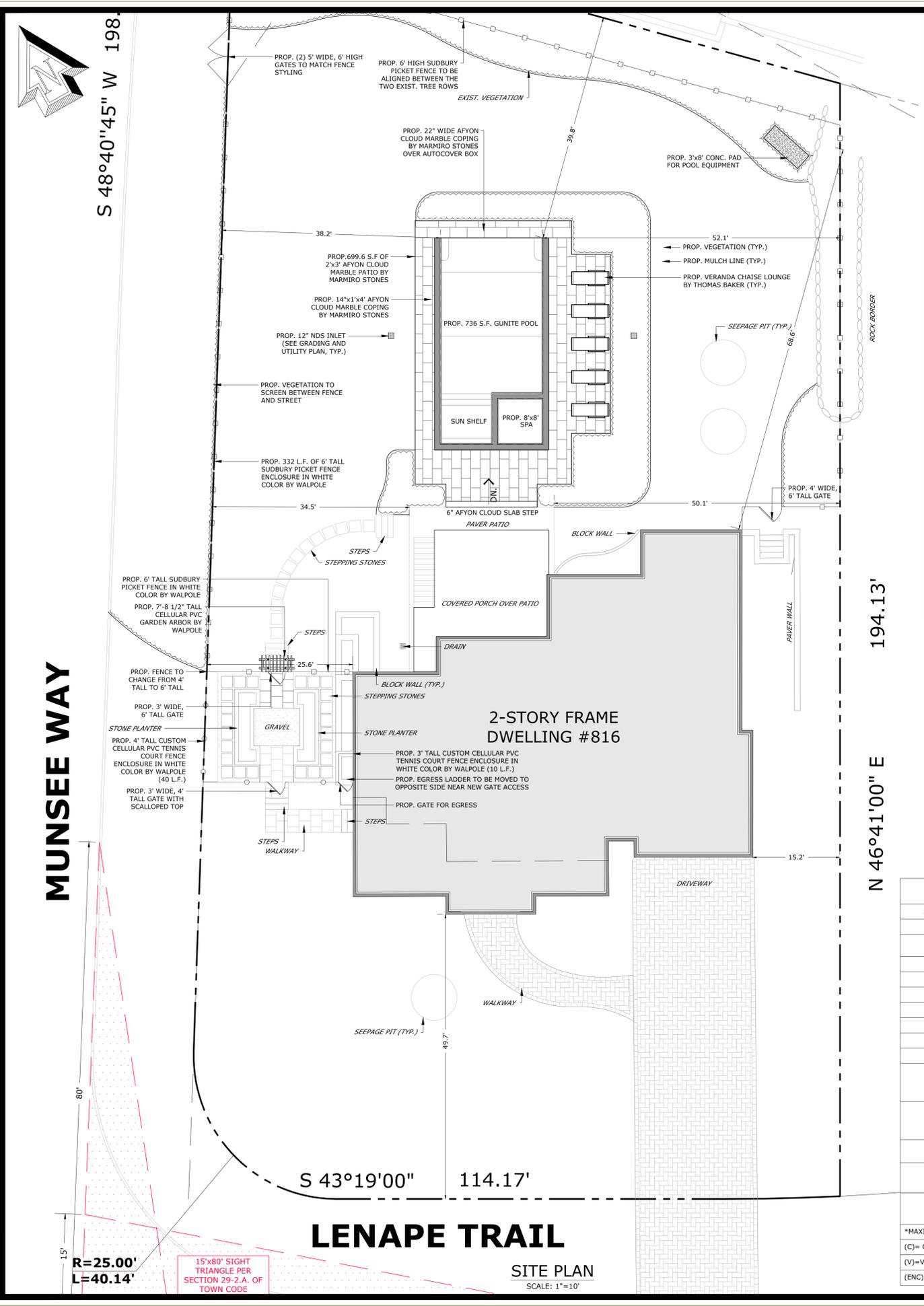
SCALE: 1"=100'

SHEET TITLE:
COVER SHEET

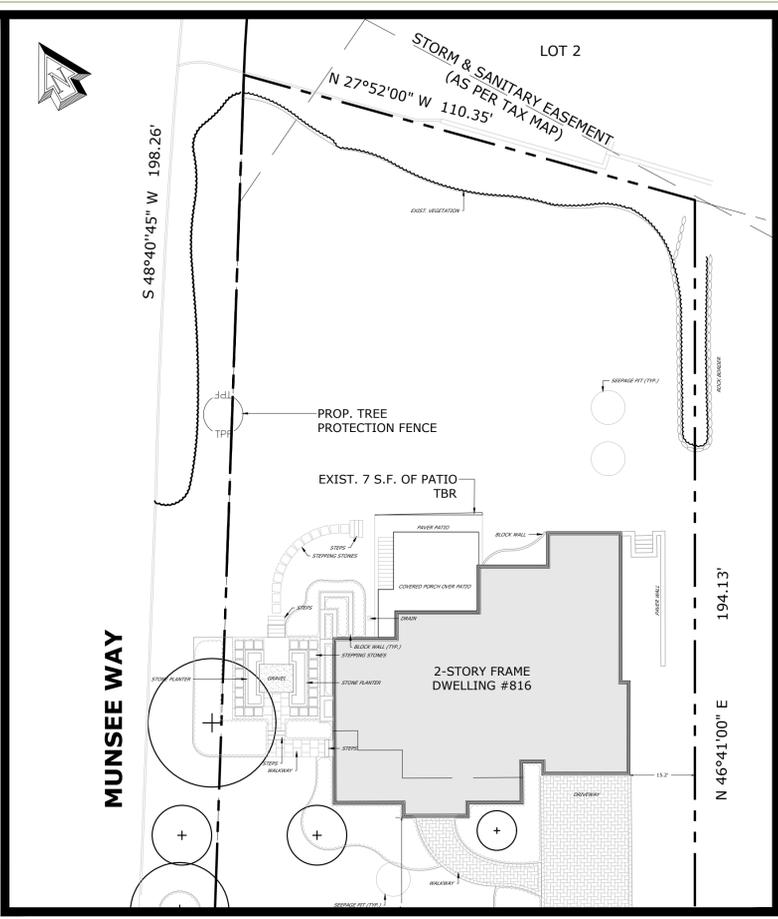
SHEET#

1

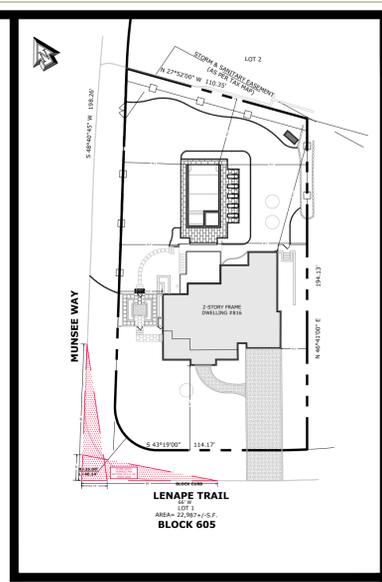
OF 4



LENAPE TRAIL
SITE PLAN
 SCALE: 1"=10'



DEMOLITION PLAN
 SCALE: 1"=20'



KEY MAP
 SCALE: 1"=50'

VARIANCE LIST

- 12.04(G): MAXIMUM COVERAGE BY IMPROVEMENTS (% OF LOT AREA)= 40% BUT NOT ABOUT 7,200 S.F. PROP. (33.6%) 7,715.0 S.F. OF IMPROVEMENTS (V)
- 12.07(C): FENCES SHALL NOT EXCEED 4' IN HEIGHT WHEN LOCATED IN THE FRONT YARD, OR IN THE CASE OF A CORNER LOT, WHEN LOCATED IN THE FRONT YARD, STREET SIDE YARD OR IN ANY PORTION OF THE REAR YARD WHICH IS CLOSER TO THE ABUTTING STREET THAN 1) THE PRINCIPAL BUILDING, OR 2) THE MINIMUM STREET SIDE YARD SETBACK. PROP. 6' HIGH FENCE ALONG THE STREET SIDE YARD ALONG MUNSEE WAY (V)
- 13.01(E): NO ACCESSORY BUILDING OR ABOVE GRADE STRUCTURE SHALL BE PERMITTED IN ANY FRONT YARD OR STREET SIDE YARD. PROP. 7' 8 1/2" HIGH ARBOR PROPOSED IN THE STREET SIDE YARD [ALONG MUNSEE WAY] (V)
- 13.02(D)(3): ON CORNER LOTS, THE SWIMMING POOL SHALL BE SET BACK FROM THE SIDE STREET LINE A DISTANCE AT LEAST EQUAL TO THE STREET SIDE YARD SETBACK REQUIREMENT FOR A PRINCIPAL BUILDING OR TO THE ESTABLISHED FRONT YARD SETBACK OF THE LOT ADJACENT TO THE REAR LOT LINE OF THE LOT ON WHICH THE SWIMMING POOL IS LOCATED, WHICHEVER IS GREATER. PROP. POOL IS 38.2' FROM STREET SIDE YARD (V)
- 13.02(D)(5): ENCLOSURE AND SCREENING, THE POOL SHALL BE ENCLOSED BY A STOCKADE, BOARD-ON-BOARD OR OTHER SOLID FENCE, BUT NOT CHAIN-LINK, WHICH FENCE SHALL BE NOT LESS THAN 6' TALL. PROP. 6' TALL ELEVATED NANTUCKET FENCE (V)

BULK REQUIREMENTS (ZONE RS-24)

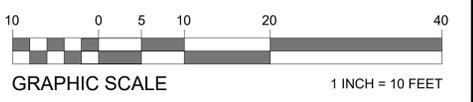
SECTION NUMBER	SECTION	REQUIRED	EXISTING	PROPOSED
11.04(E)(1)	MIN. LOT AREA	24,000 S.F.	22,987.0 S.F. (ENC)	22,987.0 S.F. (ENC)
11.04(E)(2)	MIN. AREA WITHIN FIRST 185 FT. OF DEPTH	24,000 S.F.	20,431.6 S.F. (ENC)	20,431.6 S.F. (ENC)
11.04(E)(2)	MIN. LOT WIDTH	130'	112.4' (ENC)	112.4' (ENC)
11.04(E)(3)	MIN. LOT FRONTAGE	130'	114.2' (ENC)	114.2' (ENC)
11.04(E)(4)	MIN. LOT DEPTH	160'	194.1' (C)	194.1' (C)
11.04(E)(5)	FRONT YARD DEPTH	50'	49.7' (ENC)	49.7' (ENC)
11.04(E)(5)	STREET SIDE YARD DEPTH	25'	25.6' (C)	25.6' (C)
11.04(E)(6)	MIN. SIDE YARD	15'	15.2' (C)	15.2' (C)
11.04(E)(7)	MIN. REAR YARD	50'	79.6' (C)	79.6' (C)
12.04(F)(1)	MAX. COVERAGE BY BUILDING AND ABOVE-GRADE STRUCTURES	20% (MAX OF 3,600 S.F.)	*3,122.6 S.F. (13.6%) (C)	ARBOR 17.2 S.F. *3,139.8 S.F. (13.6%) (C)
12.04(F)(3)	ALLOWED INCREASE FOR PORCHES, INGRESS/EGRESS PLATFORMS AND DECKS	3.5% (MAX OF 720 S.F.)	DECK 261.4 S.F. PORCH 458.6 S.F. TOTAL 720.0 S.F. (C)	DECK 261.4 S.F. PORCH 458.6 S.F. TOTAL 720.0 S.F. (C)
12.04(G)	MAXIMUM COVERAGE BY IMPROVEMENTS	40% (MAX OF 7,200 S.F.)	26.7% (6,147.2 S.F.) (C)	33.6% (7,715 S.F.) (V)
13.01(E)	ACCESSORY STRUCTURE: FRONT YARD SETBACK	NOT ALLOWED IN FRONT OR STREET SIDE YARD	N/A	ARBOR PROPOSED 9' FROM STREET SIDE YARD (V)
13.02(D)(3)	PRIVATE SWIMMING POOL SETBACK (SIDE AND REAR YARD)	57.3' SIDE (ADJACENT LOT FRONT YARD) 15' REAR	N/A	SIDE: 38.2' (V) REAR: 39.8' (C)

*MAXIMUM COVERAGE BY PORCHES, INGRESS/EGRESS PLATFORMS, AND DECKS EXCLUDED FROM SECTION 12.04(F)(1)
 (C)= COMPLIES
 (V)=VARIANCE
 (ENC)= EXISTING NON-COMPLIANCE

IMPERVIOUS COVERAGE CHART

SITE ELEMENT	EXISTING	PROPOSED
BUILDING	3,842.6 S.F.	3,842.6 S.F.
WALKWAYS	335.7 S.F.	335.7 S.F.
PATIO	472.7 S.F.	1,172.3 S.F.
WALLS	159.1 S.F.	159.1 S.F.
STEPS	64.5 S.F.	80.5 S.F.
DRIVEWAY	1,272.6 S.F.	1,272.6 S.F.
POOL/SPA WATER	N/A	634.0 S.F.
POOL COPING	N/A	188.1 S.F.
POOL PAD	N/A	24.0 S.F.
ARBOR	N/A	6.1 S.F.
TOTALS:	6,147.2 S.F.	7,715 S.F.

- GENERAL NOTES**
1. THIS PLAN REFERENCES A SURVEY PREPARED BY LANTELME, KURENS & ASSOCIATES, PC DATED 12/11/17
 2. SOME OF THE EXISTING VEGETATION AND DIMENSIONING DEPICTED IS APPROXIMATED AND SHOULD BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 3. CONTRACTOR SHALL CONTACT "COMMON GROUND ALLIANCE" BY PHONE AT "811" OR ONLINE AT WWW.CALL811.COM THREE (3) DAYS PRIOR TO DIGGING FOR A UTILITY MARKOUT.
 4. ALL EXISTING SITE FEATURES TO REMAIN UNLESS OTHERWISE NOTED.
 5. THIS PLAN SHALL BE UTILIZED FOR SITE AND DEMOLITION PLAN PURPOSES ONLY.



LAND Identity, LLC
 A Professional Landscape Architecture & Design Company

Visit us online at: www.LANDidentity.com
 Certificate of Authorization #21MH000005

514 HORT STREET
 WESTFIELD, NJ 07090
 P: 908.789.4626
 F: 908.721.0499

Planning & Irrigation Design | Conceptual Layout | Site Inventory & Analysis | Readings | Temporary | Construction Services | Consulting

LICENSED LANDSCAPE ARCHITECT

Gregory Spadaro

GREORY SPADARO, L.L.A.
 NJ LICENSE #AS000951

REV. #	DATE	REMARK
2	03/30/20	REV. PER ZONING BOARD COMM.
1	02/03/20	REV. PER ZONING OFFICIAL COMM.

GIORDANO RESIDENCE
 BLOCK 605; LOT 1
 816 LENAPE TRAIL
 TOWN OF WESTFIELD
 UNION COUNTY, NEW JERSEY

PROJECT#: NJ18137
 DATE: 12/09/19
 SCALE: AS SHOWN

SHEET TITLE:
SITE AND DEMOLITION PLAN

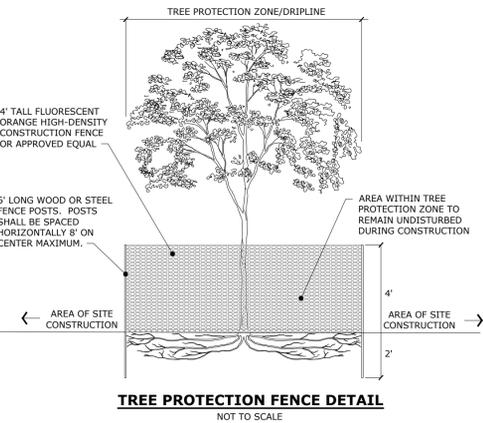
SHEET #
2
 OF 4

GRADING & UTILITY NOTES:

- LOCATION OF ALL EXISTING AND PROPOSED UTILITIES AND ASSOCIATED CONNECTION POINTS ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES AND IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE PROJECT LANDSCAPE ARCHITECT. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINT OF CONNECTION AND PROGRESS UP GRADIENT. PROPOSED CROSSINGS WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY SEWER, STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT LANDSCAPE ARCHITECT SHALL BE AT HIS OWN RISK. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND IF APPLICABLE ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT OR CORRESPONDING UTILITY CONTRACTOR AND APPROVED BY THE GOVERNING AUTHORITY AS REQUIRED. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR SHALL ALSO COORDINATE THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, PROJECT LANDSCAPE ARCHITECT SHALL BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE THE SAME.
- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND SOIL TESTS. IF APPLICABLE THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT SHALL GOVERN AND A SOIL TEST WILL NOT BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING OF NATIVE SOIL. WHERE SUITABLE MATERIALS, THE BOTTOM OF ALL EXCAVATED AREAS SHALL BE COMPACTED. ALL FILLED AREAS SHALL BE COMPACTED IN 6" LIFTS. SOIL ASSOCIATED WITH THE BUILDING PAD AND PAVED AREAS SHALL BE TESTED FOR MOISTURE CONTENT AND COMPACTION AND BE SUBMITTED IN A REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. SUB-BASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUB-BASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUB-BASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL THAT IS COMPACTED AS INDICATED WITH THE GEOTECHNICAL REPORT.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST O.S.H.A. STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF O.S.H.A., AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% MINIMUM ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE PROJECT LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. PROJECT LANDSCAPE ARCHITECT TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, IMMEDIATELY NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO INITIATING WORK.

NOTES:

- TREE PROTECTION FENCE SHALL BE INSTALLED TO FOLLOW TREE CANOPY DRIP LINE OR PROPOSED LIMITS OF DISTURBANCE.
- CONSTRUCTION VEHICLES TO STAY AS FAR AS POSSIBLE FROM TREE PROTECTION FENCE TO PREVENT COMPACTION OF TREE ROOTS.



POOL NOTES

- POOL SHALL COMPLY WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC), INTERNATIONAL RESIDENTIAL CODE (IRC), AND LOCAL MUNICIPAL CODE.
- THE TOP OF THE BARRIER SHALL BE AT LEAST 48" ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE FENCE SHALL BE 2" MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL.
- OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.
- SOLID BARRIERS WHICH DO NOT HAVE OPENINGS, SUCH AS A MASONRY STONE WALL, SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.
- WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45", THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 1 3/4" IN WIDTH, WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 1 3/4" IN WIDTH.
- WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS 45" OR MORE, SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 4". WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL NOT EXCEED 1 3/4" IN WIDTH.
- MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4" SQUARE UNLESS THE FENCE HAS SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NO MORE THAN 1 3/4".
- WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, SUCH AS LATTICE FENCE, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL NOT BE MORE THAN 1 3/4".
- PEDESTRIAN ACCESS GATES SHALL OPEN OUTWARD AWAY FROM THE POOL AND SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE. GATES OTHER THAN PEDESTRIAN ACCESS GATES SHALL HAVE A SELF-LATCHING DEVICE. WHERE THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE IS LOCATED LESS THAN 54" FROM THE BOTTOM OF THE GATE, THE RELEASE MECHANISM AND OPENINGS SHALL COMPLY WITH THE FOLLOWING: THE RELEASE MECHANISM SHALL BE LOCATED ON THE POOL SIDE OF THE GATE AT LEAST 3" BELOW THE TOP OF THE GATE AND THE GATE AND BARRIER SHALL HAVE NO OPENING LARGER THAN 1/2" WITHIN 18" OF THE RELEASE MECHANISM.
- FENCING SHALL BE INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE WITH THE FINISHED SIDE OF THE FENCE FACING NEIGHBORING PROPERTIES, OR AS REQUIRED BY LOCAL GOVERNING CODE. PROPERTY OWNER CANNOT UTILIZE NEIGHBORING FENCING TO MEET POOL FENCE REQUIREMENTS.
- 10' AREA FROM EDGE OF POOL TO BE CLEAR OF LOW-VOLTAGE FIXTURES PER NEC CODE.
- ELECTRICAL OUTLETS WITHIN THE AREA OF THE POOL AS OUTLINED WITHIN THE IBC/IRC SHALL BE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) OUTLETS.
- ONE OR MORE DISCONNECTING MEANS TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS FOR ALL UTILIZATION EQUIPMENT, OTHER THAN LIGHTING, SHALL BE PROVIDED. (SEE SECTION E4203.3 FOR ADDITIONAL INFORMATION).
- ELECTRICAL SHALL BE BURIED TO A DEPTH AS OUTLINED IN TABLE E4203.7 OF THE IRC.
- ELECTRICAL SHALL BE BONDED IN ACCORDANCE WITH SECTION E4204 OF THE IRC.
- UNDERWATER LIGHTING SHALL BE INSTALLED BY POOL CONTRACTOR.
- A DISCONNECTING SWITCH SHALL BE INSTALLED AS REQUIRED.

SEEDING SPECIFICATIONS

- PRIOR TO SEEDING, MIX TOP 6" LAYER OF TOPSOIL WITH FERTILIZER AND LIME. 10-20-10 FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 S.F. LIME SHALL BE APPLIED IN ACCORDANCE WITH THE FOLLOWING CHART:

SOIL TEXTURE	TONS/ACRE	LBS/1,000 S.F.
CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45

ABOVE APPLICATION RATES FOR FERTILIZER AND LIME ARE STANDARD RATES AND SHALL BE ADJUSTED BASED ON SITE SPECIFIC SOIL TESTS.

- TOPSOIL SHALL BE TILLED, FINE GRADED, AND RAKED FREE OF ALL DEBRIS LARGER THAN 1" IN DIAMETER. ALL LAWN AREAS SHALL BE SLOPED TO DRAIN OR PER THE APPROVED GRADING PLAN.
- CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS AND IMPLEMENT AS REQUIRED PRIOR TO APPLICATION OF SEED.

GENERAL LAWN/RECREATION SEED MIX (#15)

SEED MIXTURE	LBS/ACRE	LBS/1,000 S.F.	OPTIMAL PLANTING DATES
HARD FESCUE	120	2.7	ZONE 5B & 6A = 3/15-5/31
PERENNIAL RYEGRASS	30	0.7	3/1-10/1
KENTUCKY BLUEGRASS (BLEND)	40	0.9	ZONE 6B = 3/1-4/30
			8/15-10/15
			ZONE 7A & 7B = 2/1-4/30
			8/15-10/30

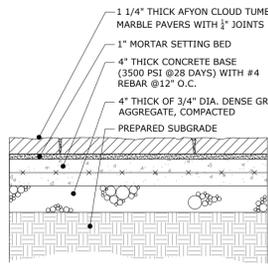
MAINTENANCE LEVEL

- INTENSIVE MOWING (2-4 DAYS), FERTILIZATION, LIME, PEST CONTROL AND IRRIGATION
- FREQUENT MOWING (4-7 DAYS), OCCASIONAL FERTILIZATION, LIME AND WEED CONTROL
- PERIODIC MOWING (7-14 DAYS), OCCASIONAL FERTILIZATION AND LIME

- SEED SHALL BE APPLIED IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. ONCE APPLIED, FIRM THE SOIL WITH A CORRUGATED LAWN ROLLER TO PROMOTE SEED-TO-SOIL CONTACT.
- APPLY STRAW OR HAY MULCH TO ALL SEEDED AREAS AT THE RATE OF 1 1/2 - 2 TONS PER ACRE OR 70-90 POUNDS PER 1,000 S.F. SPREAD MULCH SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE IS COVERED. ANCHORING OF MULCH SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE ACCOMPLISHED BY ONE OF THE FOLLOWING METHODS: PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH-BINDER.
- IRRIGATE NEWLY SEEDED AREAS WITH A MINIMUM OF 1/4 INCH OF WATER TWICE A DAY (NOT DURING PERIODS OF INTENSE SUN) UNTIL VEGETATION IS WELL ESTABLISHED.

WET-LAID TUMBLED MARBLE PAVING DETAIL

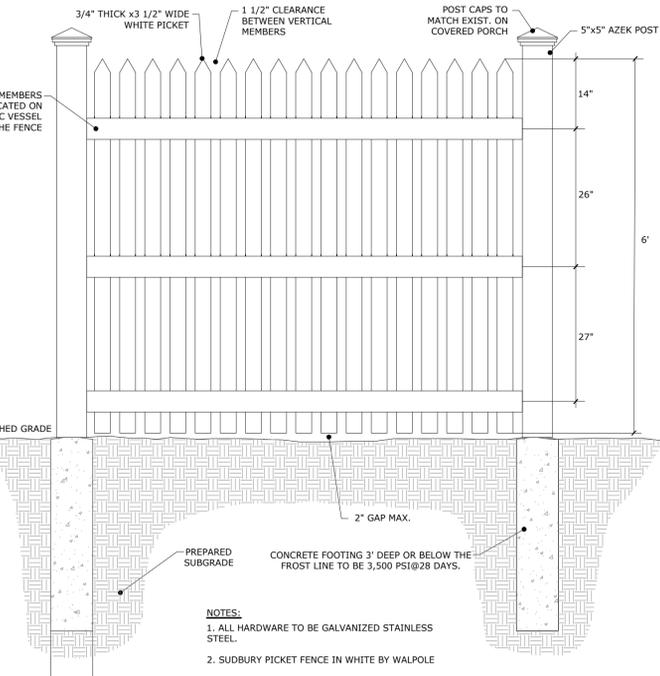
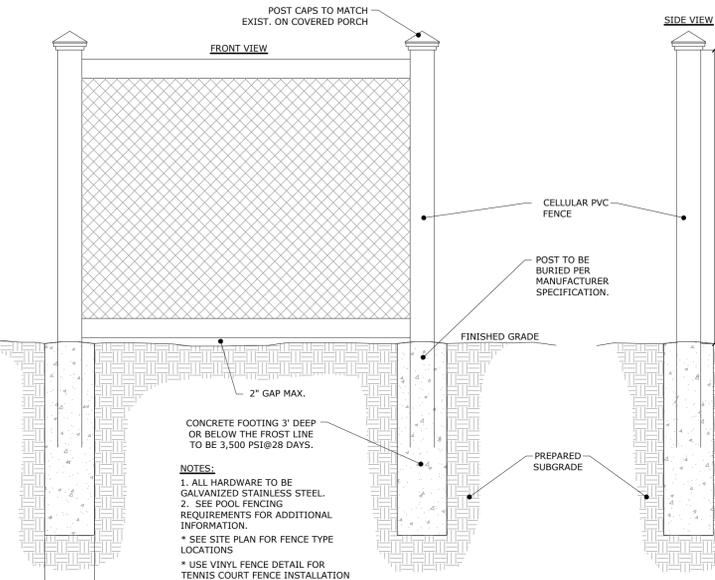
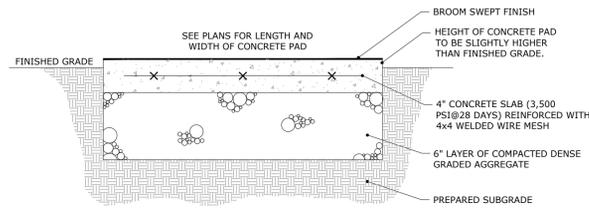
NOT TO SCALE



- NOTES:
- EXCAVATE TO A DEPTH OF APPROXIMATELY 10 INCHES.
 - PLACE STAKES SO THAT THE INSIDE OF THE STAKES ARE AT THE CORNERS OF THE PAD. MEASURE ON DIAGONAL TO ENSURE THAT THEY ARE SQUARE.
 - 1"x4" PIECES OF WOOD TO BE NAILED TO STAKES TO BUILD FORM FOR PAD.
 - PRIOR TO POURING CONCRETE, WOOD TO BE COATED WITH FORM-RELEASE COMPOUND TO FACILITATE WOOD REMOVAL AFTER CONCRETE SETS.
 - MIX CONCRETE AS IT IS POURED INTO FRAME. INSTALL W/M IN CENTER OF SLAB. TAP ON THE WOOD FRAME IN ORDER TO ELIMINATE TRAPPED AIR.
 - SCREED IN BOTH DIRECTIONS TO ENSURE A LEVEL SURFACE. USE A FLOAT TO ACHIEVE A SMOOTHER SURFACE AND THEN BROOM SWEEP FOR A TEXTURED SURFACE.
 - COVER THE CONCRETE WITH A TARP TO KEEP IT MOIST BUT PROTECTED FROM RAIN.
 - ALLOW IT TO SET AS REQUIRED, FINALLY REMOVE WOOD FRAMES AND BACKFILL AS NECESSARY.

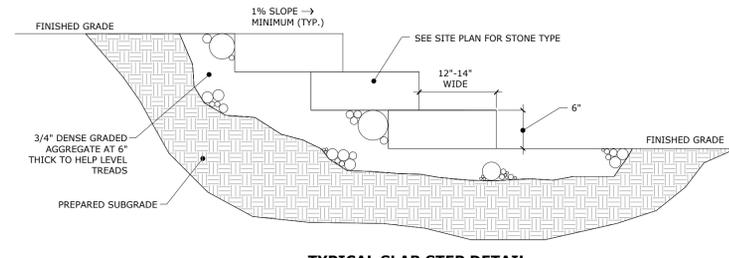
MECHANICAL UNIT CONCRETE PAD

NOT TO SCALE



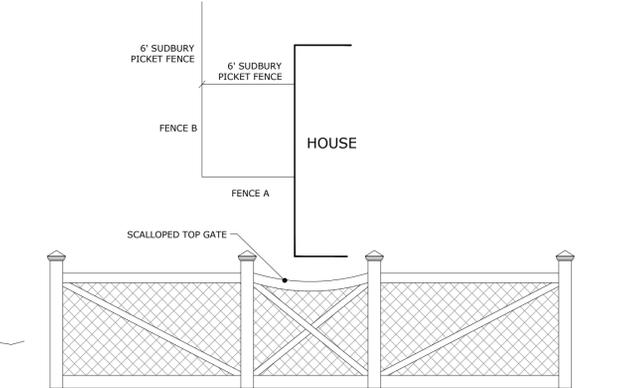
SUDBURY PICKET FENCE DETAIL

NOT TO SCALE



TYPICAL SLAB STEP DETAIL

NOT TO SCALE



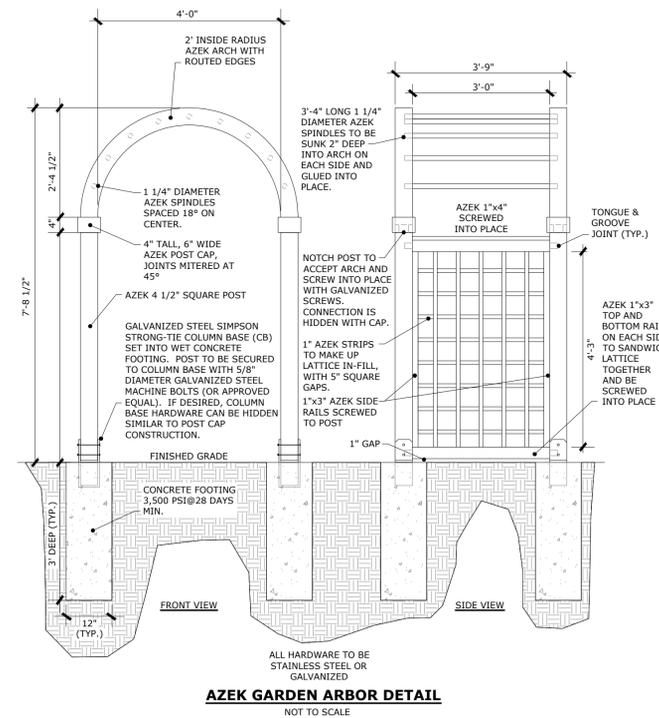
TENNIS COURT FENCE A DETAIL

NOT TO SCALE



TENNIS COURT FENCE B DETAIL

NOT TO SCALE



LAND Identity, LLC
A Professional Landscape Architecture & Design Company

Visit us online at: www.LANDidentity.com
Certificate of Authorization #21MH000005

534 HORT STREET
WESTFIELD, NJ 07090
P: 908.789.4626
F: 908.721.0489

REG. PROFESSIONAL LANDSCAPE ARCHITECT
GREGORY SPADARO, L.L.A.
LIC. #AS000951

LICENSED LANDSCAPE ARCHITECT

REV.#	DATE	REMARK
2	03/30/20	REV. PER ZONING BOARD COMM.
1	02/03/20	REV. PER ZONING OFFICIAL COMM.

GIORDANO RESIDENCE
BLOCK 605; LOT 1
816 LENAPE TRAIL
TOWN OF WESTFIELD
UNION COUNTY, NEW JERSEY

PROJECT#: NJ18137

DATE: 12/09/19

SCALE: N.T.S.

SHEET TITLE:
DETAIL SHEET

SHEET #

4

OF 4